# **SECOND AND THIRD FLOOR RENOVATION** GULF BEND CENTER

SV ABON	/IATIONS				LEGEND
		HOR			
	NDUM IONAL	ID INFO	INSIDE DIAMETER INFORMATION		BRICK
JUL ADDI DJ ADJA		INT	INTERIOR		
	E FINISH FLOOR	INV	INVERT		
UM ALUN	NUM	LAV	LAVATORY	— ( , d , d , d , d , d , d , d , d , d ,	CONCRETE
PROX APPF	DXIMATELY	LH	LEFT HAND		
		MFR	MANUFACTURER		CONCRETE MASONRY UNIT
		MAX	MAXIMUM		
TO AUTO BOAF	MATIC	MECH	MECHANICAL MECHANICAL, ELECTRICAL, & PLUMBING		EARTH
BRIC		MIN	MINIMUM		
DG BUILI		MISC	MISCELLANEOUS		
KG BLOC	(ING	MTL	METAL		GLASS
I BEAN		NIC	NOT IN CONTRACT		
DTT BOTT	M	NO	NUMBER		GYPSUM WALLBOARD
		NOM	NOMINAL		
NF COLE R CLEA	FORMED METAL FRAMING	OC NTS	NOT TO SCALE ON CENTER	- $ XXXX $	LOOSE / BATT INSULATION
	NRETE MASONRY UNIT	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED		
CLEA		OFOI	OWNER FURNISHED OWNER INSTALLED		
COLL	- MN	ОН	OVERHEAD		METAL
	RETE	OPH	OPPOSITE HAND		
NT CON	NUOUS	OSB	ORIENTED STRAND BOARD		PLYWOOD
CON	ROL JOINT	PL	PLATE		
	ERL LINE	PLAM	PLASTIC LAMINATE		
	LITION	PLYWD	PLYWOOD		RIGID INSULATION
DIAM		PSF	POUNDS PER SQUARE FOOT		
	ISION	PSI			WOOD BLOCKING
		PVC	POLYVINYL CHLORIDE		
	ISPOUT	RD REF	ROOF DRAIN REFER(ENCE)		FINISH WOOD
	L /INGS	RH	RIGHT HAND		
EACH		RO	ROUGH OPENING		
	NSION JOINT	S CONC	SEALED CONCRETE		CAST STONE
	NSION JOINT COVER	SIM	SIMILAR	<u>141 - 176 - 176 - 176 - 176</u>	
	FRIC(AL)	SPEC	SPECIFICATION		
V ELEV		SS	STAINLESS STEEL		
		STD	STANDARD		
ST EXIS		STL	STEEL		
		STOR	STORAGE		
	R DRAIN	TOS	STRUCTURAL TOP OF STEEL		
	EXTINGUISHER & BRACKET	TYP	TYPICAL		
	(FEET)	UNO	UNLESS NOTED OTHERWISE		
	VERIFY	VCT	VINYL COMPOSITION TILE		
GAUG	E	VERT	VERTICAL		
.V GALV	ANIZED	VIF	VERIFY IN FIELD		
	RAL CONTRACTOR	W/	WITH		
P GYPS	JM JM WALLBOARD	W/O WD	WITHOUT WOOD		
		P	HASE 3		
		$\sqrt{H}$	$\mathbf{x} \land \land$		///////

# BOLS

BUILDING SECTION REFERENCE

INTERIOR ELEVATION REFERENCE

RESTROOM ACCESSORY REFER TO SHEET A2.01 FOR SCHEDULE

MATERIAL REFERENCE REFER TO SHEET A7.01 FOR SCHEDULE

WINDOW TYPE REFER TO SHEET A7.01 FOR ADDITIONAL INFORMATION

DOOR NUMBER REFER TO SHEET A7.01 FOR ADDITIONAL INFORMATION

0 A-000 ENLARGED PLAN/ DETAIL REFENCE

WALL TYPE REFER TO SHEET A2.01 FOR ADDITIONAL INFORMATION

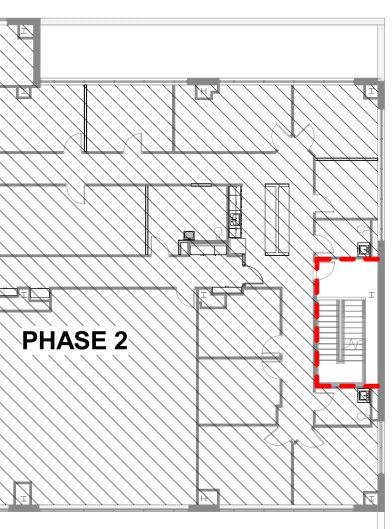
# PROJECT LOCATION

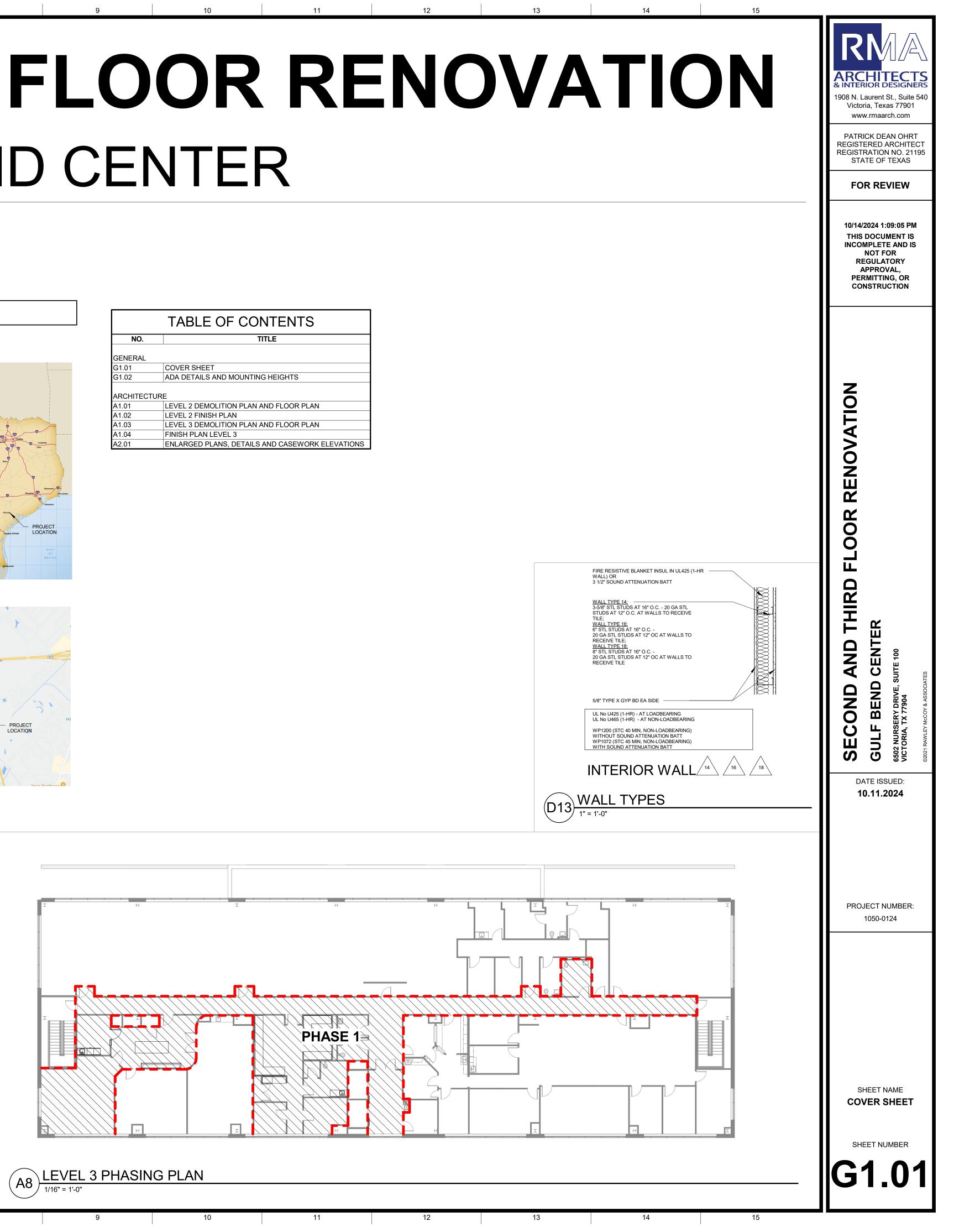
ADDRESS: 6502 NURSERY DRIVE SUITE 100 VICTORIA, TEXAS 77904

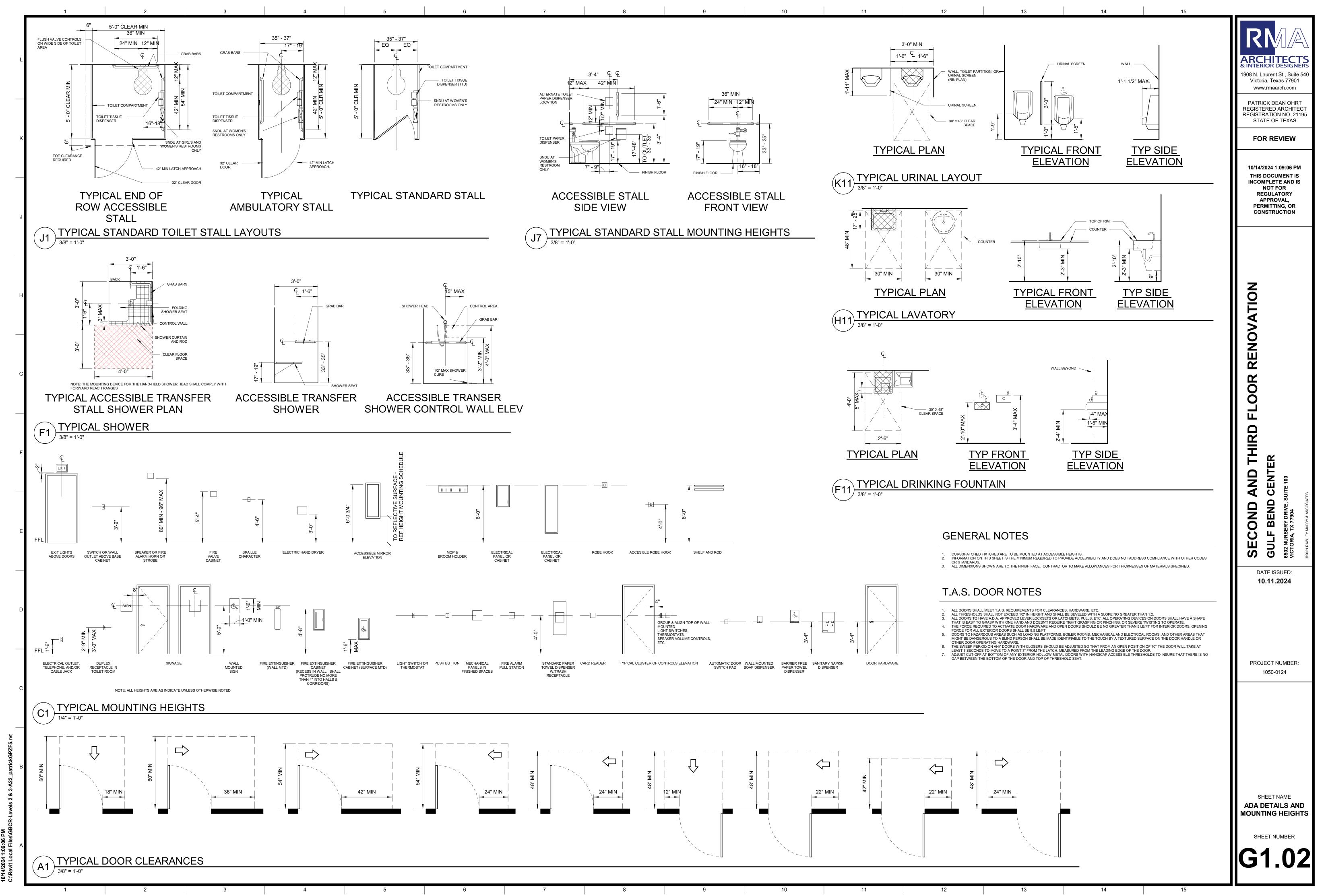


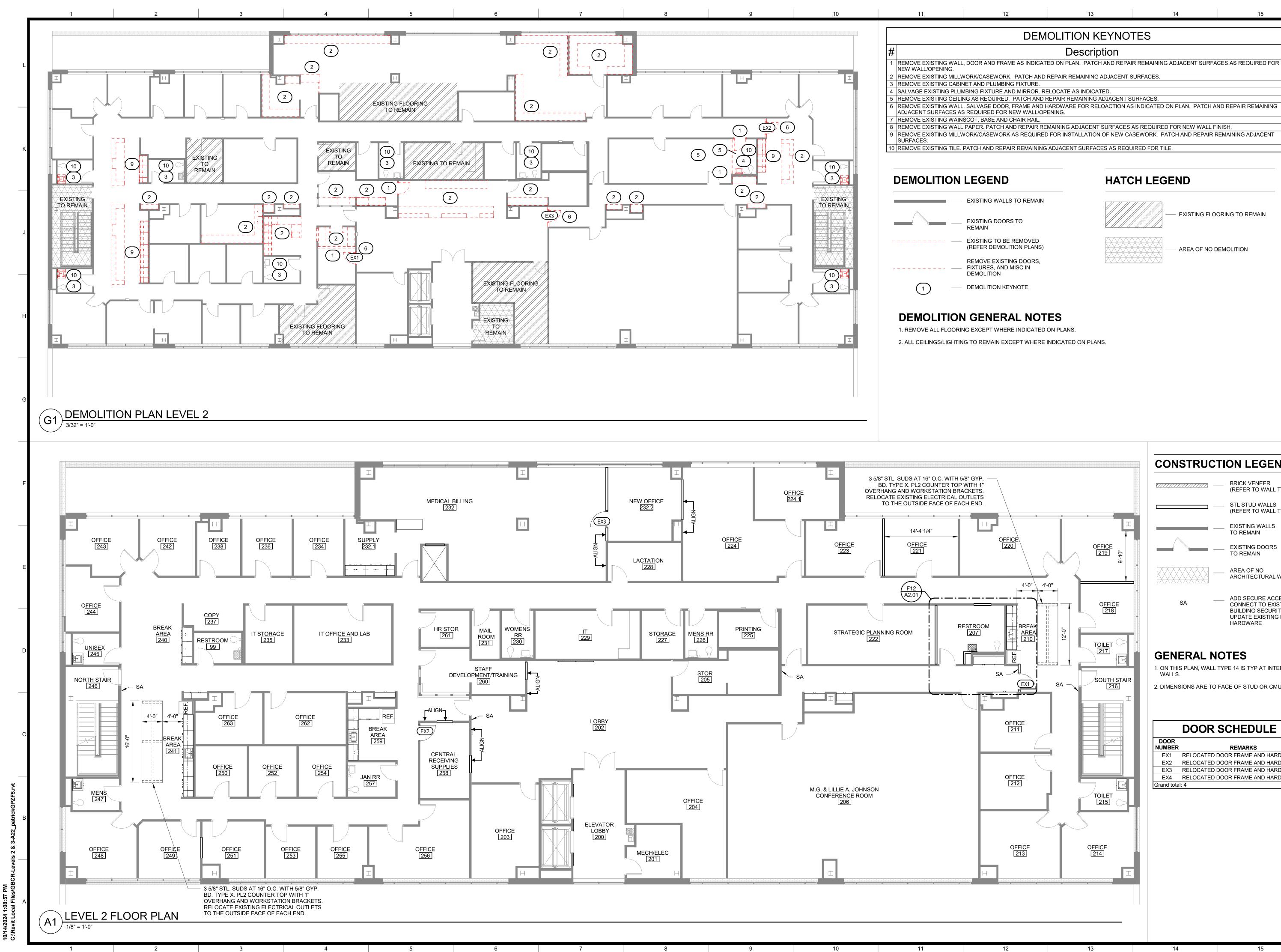


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ARCHITECT	JRE			
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A1.02	LEVEL 2 FINISH PLAN			
A1.03	LEVEL 3 DEMOLITION PLAN AND FLOOR PLAN			
A1.04	FINISH PLAN LEVEL 3			
A2.01	ENLARGED PLANS, DETAILS AND CASEWORK ELEVATIONS			





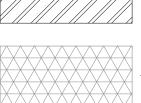




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REMOVE EXISTING WALL. SALVAGE DOOR, FRAME AND HARDWARE FOR RELOACTION AS INDICATED ON PLAN. PATCH AND REPAIR REMAINING

9 REMOVE EXISTING MILLWORK/CASEWORK AS REQUIRED FOR INSTALLATION OF NEW CASEWORK. PATCH AND REPAIR REMAINING ADJACENT



EXISTING FLOORING TO REMAIN

15

- AREA OF NO DEMOLITION

THIRD CONSTRUCTION LEGEND BRICK VENEER (REFER TO WALL TYPES) AND STL STUD WALLS (REFER TO WALL TYPES) EXISTING WALLS TO REMAIN OND EXISTING DOORS TO REMAIN SEC( GULF AREA OF NO × × × × × × × × × ARCHITECTURAL WORK `\_\_\_\_\_ ADD SECURE ACCESS SA CONNECT TO EXISTING BUILDING SECURITY SYSTEM UPDATE EXISTING DOOR HARDWARE

# **GENERAL NOTES**

1. ON THIS PLAN, WALL TYPE 14 IS TYP AT INTERIOR WALLS.

2. DIMENSIONS ARE TO FACE OF STUD OR CMU, UON.

**DOOR SCHEDULE** DOOR NUMBER REMARKS RELOCATED DOOR FRAME AND HARDWARE EX1 RELOCATED DOOR FRAME AND HARDWARE EX2 EX3 RELOCATED DOOR FRAME AND HARDWARE EX4 RELOCATED DOOR FRAME AND HARDWARE Grand total: 4



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RENOVATION

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ER

DATE ISSUED: 10.11.2024

PROJECT NUMBER: 1050-0124

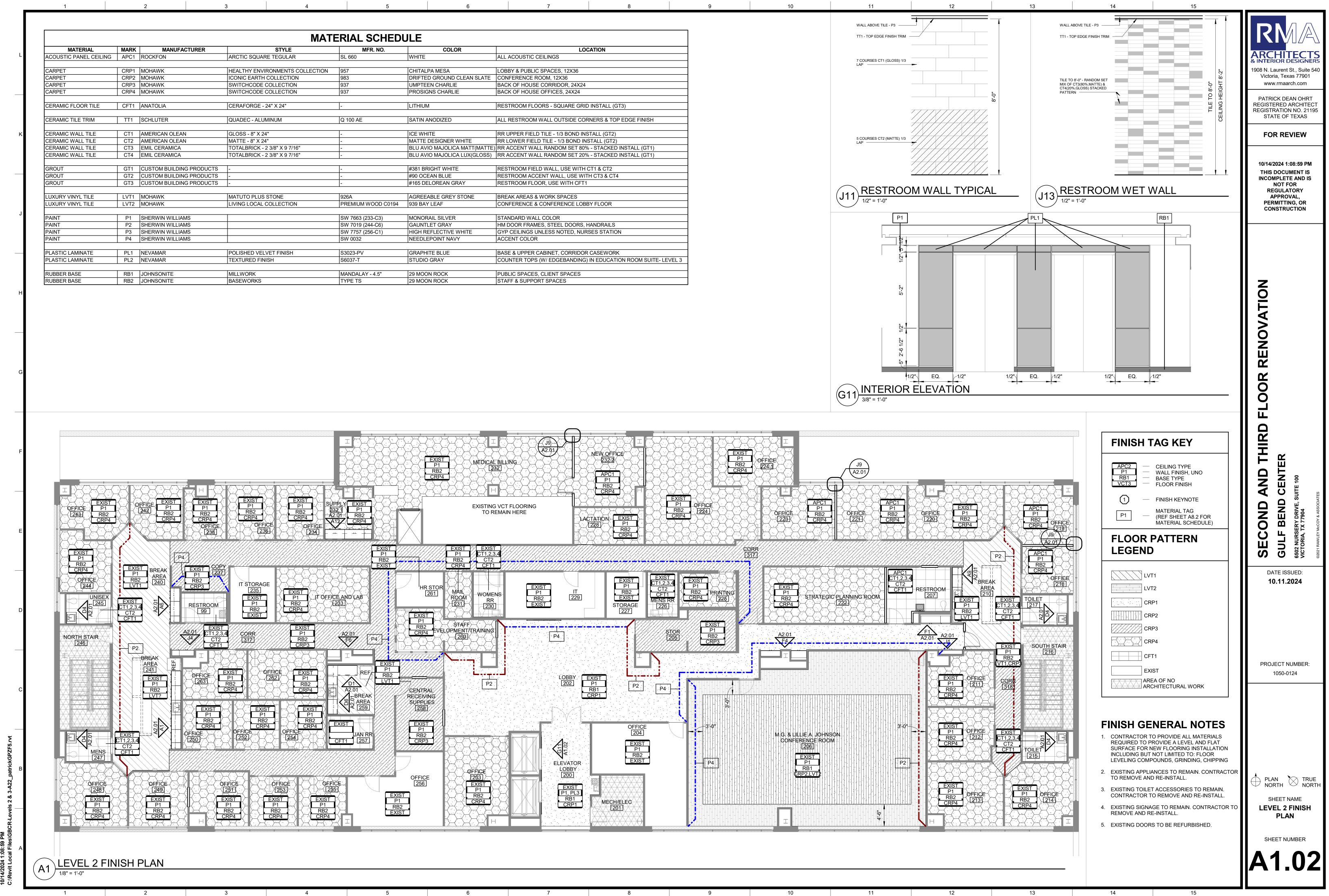
PLAN NORTH TRUE SHEET NAME

LEVEL 2 **DEMOLITION PLAN** AND FLOOR PLAN

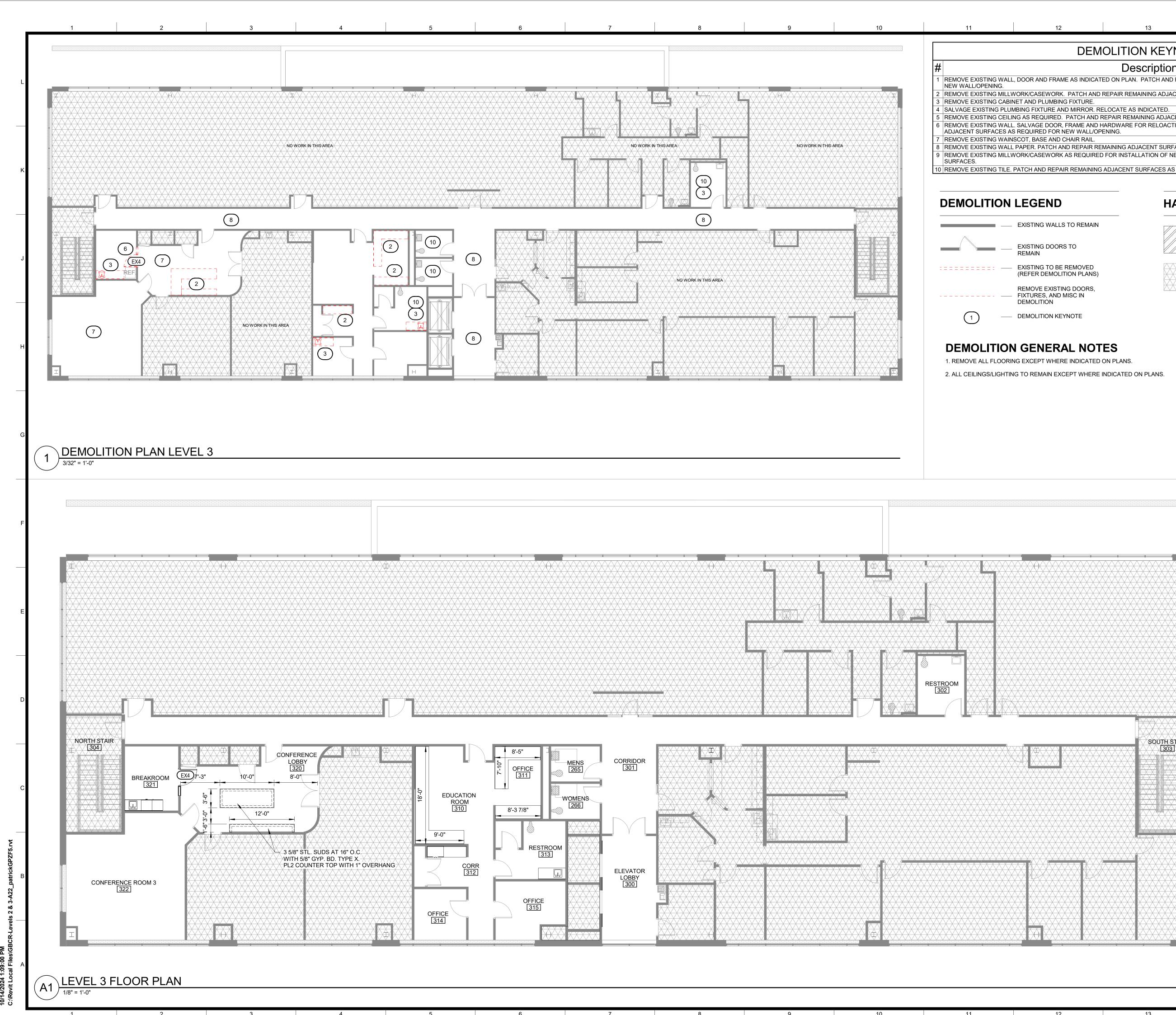


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	6	7	8		9	10	11
							WALL ABOVE TILE - P3
							TT1 - TOP EDGE FINISH TRIM
	COLOR	LO	CATION				
Ξ		ALL ACOUSTIC CEILINGS					7 COURSES CT1 (GLOSS) 1/3
		1					
	PAMESA	LOBBY & PUBLIC SPACES, 12X36					
_		CONFERENCE ROOM, 12X36					
		BACK OF HOUSE CORRIDOR, 24X24					
IG	GNS CHARLIE	BACK OF HOUSE OFFICES, 24X24					
11	٨						
JN	//	RESTROOM FLOORS - SQUARE GRI	DINSTALL (G13)				
	ANODIZED	ALL RESTROOM WALL OUTSIDE CO					
Н	ITE	RR UPPER FIELD TILE - 1/3 BOND IN	STALL (GT2)				
	DESIGNER WHITE	RR LOWER FIELD TILE - 1/3 BOND IN					5 COURSES CT2 (MATTE) 1/3
		RR ACCENT WALL RANDOM SET 809					
	, , ,	RR ACCENT WALL RANDOM SET 209	, , ,				
ΒF	RIGHT WHITE	RESTROOM FIELD WALL, USE WITH	CT1 & CT2				
CI	EAN BLUE	RESTROOM ACCENT WALL, USE WI	TH CT3 & CT4				
DE	ELOREAN GRAY	RESTROOM FLOOR, USE WITH CFT1					
							RESTROOM
	ABLE GREY STONE	BREAK AREAS & WORK SPACES					(J11) 1/2" = 1'-0"
4١	Y LEAF	CONFERENCE & CONFERENCE LOB	BY FLOOR				
_							
		STANDARD WALL COLOR					P1
_	LET GRAY EFLECTIVE WHITE	HM DOOR FRAMES, STEEL DOORS, GYP CEILINGS UNLESS NOTED, NUF					
		ACCENT COLOR	SES STATION				
н	ITE BLUE	BASE & UPPER CABINET, CORRIDOF	RCASEWORK				h h
	) GRAY	COUNTER TOPS (W/ EDGEBANDING		/EL 3			11/2",
0	N ROCK	PUBLIC SPACES, CLIENT SPACES					
00	N ROCK	STAFF & SUPPORT SPACES					
							5:-2"
							مآ الم



# DEMOLITION KEYNOTES

## Description

REMOVE EXISTING WALL, DOOR AND FRAME AS INDICATED ON PLAN. PATCH AND REPAIR REMAINING ADJACENT SURFACES AS REQUIRED FOR REMOVE EXISTING MILLWORK/CASEWORK. PATCH AND REPAIR REMAINING ADJACENT SURFACES.

5 REMOVE EXISTING CEILING AS REQUIRED. PATCH AND REPAIR REMAINING ADJACENT SURFACES.

6 REMOVE EXISTING WALL. SALVAGE DOOR, FRAME AND HARDWARE FOR RELOACTION AS INDICATED ON PLAN. PATCH AND REPAIR REMAINING ADJACENT SURFACES AS REQUIRED FOR NEW WALL/OPENING.

8 REMOVE EXISTING WALL PAPER. PATCH AND REPAIR REMAINING ADJACENT SURFACES AS REQUIRED FOR NEW WALL FINISH. 9 REMOVE EXISTING MILLWORK/CASEWORK AS REQUIRED FOR INSTALLATION OF NEW CASEWORK. PATCH AND REPAIR REMAINING ADJACENT

10 REMOVE EXISTING TILE. PATCH AND REPAIR REMAINING ADJACENT SURFACES AS REQUIRED FOR TILE

EXISTING WALLS TO REMAIN

EXISTING DOORS TO

(REFER DEMOLITION PLANS)

REMOVE EXISTING DOORS, - FIXTURES, AND MISC IN DEMOLITION

— DEMOLITION KEYNOTE

 $\mathbf{K} \times \mathbf{X} \times \mathbf{X} \times \mathbf{X} \times \mathbf{X} \times \mathbf{X}$ 

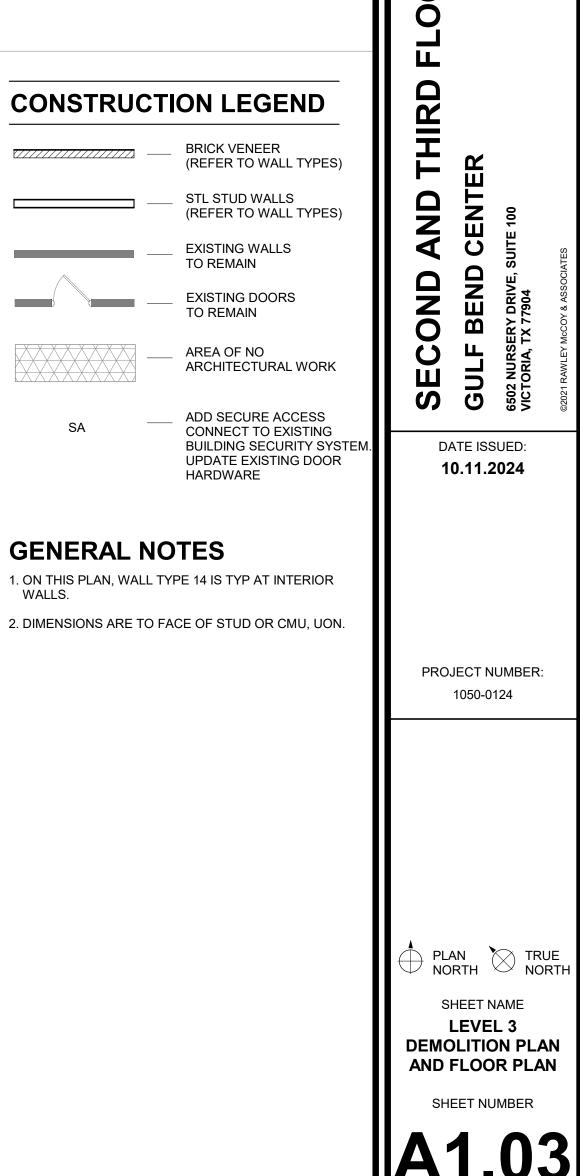
HATCH LEGEND



EXISTING FLOORING TO REMAIN

- AREA OF NO DEMOLITION

\* \* \* \* \* \* \* \* \* \* \* \* \* \* \* \*  $\times$  X X X X SOUTH STAIR \* \* \* \* \* \* \* \* \* \* \* \*  $\langle X X X X$  $\langle X X X X X \rangle$  $( \times \times \times \times \times$  $\times \times \times \times$  $\times$   $\times$   $\times$   $\times$ 



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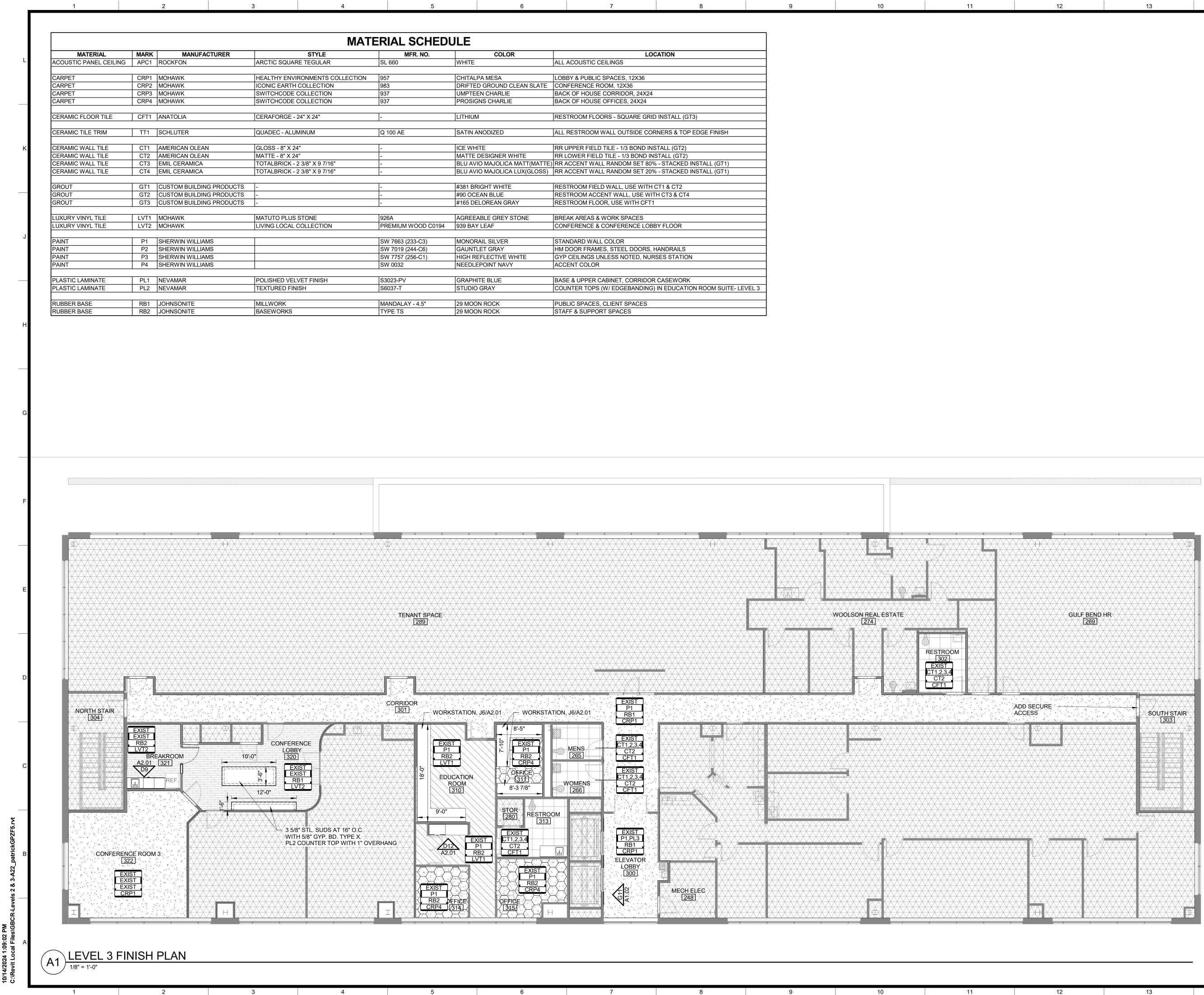
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**ATION** 

**RENOV** 

OR



COLOR	LOCATION
	ALL ACOUSTIC CEILINGS
IESA	LOBBY & PUBLIC SPACES, 12X36
ROUND CLEAN SLATE	CONFERENCE ROOM, 12X36
HARLIE	BACK OF HOUSE CORRIDOR, 24X24
CHARLIE	BACK OF HOUSE OFFICES, 24X24
	RESTROOM FLOORS - SQUARE GRID INSTALL (GT3)
DIZED	ALL RESTROOM WALL OUTSIDE CORNERS & TOP EDGE FINISH
	RR UPPER FIELD TILE - 1/3 BOND INSTALL (GT2)
IGNER WHITE	RR LOWER FIELD TILE - 1/3 BOND INSTALL (GT2)
AJOLICA MATT(MATTE)	RR ACCENT WALL RANDOM SET 80% - STACKED INSTALL (GT1)
AJOLICA LUX(GLOSS)	RR ACCENT WALL RANDOM SET 20% - STACKED INSTALL (GT1)
T WHITE	RESTROOM FIELD WALL, USE WITH CT1 & CT2
BLUE	RESTROOM ACCENT WALL, USE WITH CT3 & CT4
REAN GRAY	RESTROOM FLOOR, USE WITH CFT1
E GREY STONE	BREAK AREAS & WORK SPACES
٩F	CONFERENCE & CONFERENCE LOBBY FLOOR
SILVER	STANDARD WALL COLOR
GRAY	HM DOOR FRAMES, STEEL DOORS, HANDRAILS
ECTIVE WHITE	GYP CEILINGS UNLESS NOTED, NURSES STATION
NT NAVY	ACCENT COLOR
BLUE	BASE & UPPER CABINET, CORRIDOR CASEWORK
AY	COUNTER TOPS (W/ EDGEBANDING) IN EDUCATION ROOM SUITE- LEVEL
OCK	PUBLIC SPACES, CLIENT SPACES
ОСК	STAFF & SUPPORT SPACES



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FLOOR RENOVATION

SECOND AND THIRI SECOND AND THIRI GULF BEND CENTER 602 NURSERY DRIVE, SUITE 100 VICTORIA, TX 77904
DATE ISSUED: <b>10.11.2024</b> PROJECT NUMBER: 1050-0124
PLAN NORTH TRUE NORTH SHEET NAME FINISH PLAN LEVEL 3 SHEET NUMBER A1.04

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